



THE MUNICIPALITY OF CENTRAL ELGIN

MINOR VARIANCE/PERMISSION APPLICATION

Form MVA-1/2014

REQUIREMENTS FOR A COMPLETE APPLICATION:

Note: Until the Municipality of Central Elgin has received the information and material requested herein (as required under subsection 2 of Ontario Regulation 200/96) and any fee under Section 69(1) of the *Planning Act*, the application will be deemed incomplete and the time periods referred to in section 45(4) of the Act will not begin. Please ensure your submission includes:

OFFICE USE ONLY
Date Stamp – Date Received:

Fee Paid: ☐ Yes ☐ No

- ☐ The completed application form and declarations.
- ☐ 1 digital copy of sketch/plan showing **EXISTING** and **PROPOSED** building(s) and structure(s) on subject lands, where applicable. Sketch is to include, for each existing and proposed building or structure, the location including setbacks from lot lines, height and dimensions (or floor areas) in metric units. See Section 18 of this application for more detail.
- ☐ **Application Fee made payable to "The Municipality of Central Elgin". Application Fee Amount: \$ 553.75**
- ☐ A Letter of Authorization from the Owner (with dated, original signature) **OR** completion of the Owner's Authorization on page 7, **if the Owner is not filing the application.**
- ☐ Other information identified through Pre-consultation.

PLEASE LIST THE REPORTS OR STUDIES THAT ACCOMPANY THIS APPLICATION (supply two copies of each):

Note: This section applies to all reports that may have been identified as a result of any pre-application consultation meeting as studies required for a complete application.

About Pre-Consultation

Prior to submitting this application for a Minor Variance to the Municipality of Central Elgin, a proponent is encouraged to consult with relevant staff. Pre-application consultation is intended to facilitate early discussions between the proponent and staff pertaining to the application, and to allow staff to assist in determining the specific reports, studies and information that may be required to be submitted together with the application form as part of a complete application.

THIS APPLICATION PACKAGE MUST BE SUBMITTED TO:

Central Elgin Planning Office
9 Mondamin Street, St. Thomas, Ontario N5P 2T9
or

Telephone: 519-633-2560
Facsimile: 519-633-6581

Municipality of Central Elgin
450 Sunset Drive, St. Thomas, Ontario N5R 5V1

Telephone: 519-631-4860
Facsimile: 519-631-4036

Personal information is collected under the authority of the Planning Act and will be used only for the purposes of considering and reviewing your application.



THE MUNICIPALITY OF CENTRAL ELGIN

MINOR VARIANCE/PERMISSION APPLICATION

I/We hereby apply, as outlined in this application, to the Council of the Corporation of the Municipality of Central Elgin pursuant to the provisions of the Planning Act, for a Minor Variance/Permission under Section 45 of the *Planning Act*.

1. Name of applicant: Nicole McDowell
Address: 31914 Pioneer Line
Telephone (home): (519)317-7681 (business) _____
E-Mail: nicole@duenorthdesign.ca
2. Is the applicant the owner of the land? ☐ Yes ☒ No If no, please provide:
Name of owner: Kara Deshaw & Chuck Wickens
Address: 437 Edith Cavell Blvd W, Port Stanley, ON
Telephone (home): (519)777-6187 (business) _____
E-Mail: karadeshaw@gmail.com; cwickens22@gmail.com
3. When was the subject land acquired by the current owner? July 2011
4. Name of Agent (if any): Nicole McDowell
Address: 31914 Pioneer Line
Telephone: (home): (519)317-7681 (business) _____
E-Mail: nicole@duenorthdesign.ca
5. Location of Property ("subject lands"):
Registered Plan No.: plan 117 Lot No.(s): 14 - 15
Concession No.: _____ Lot No.(s): _____
Reference Plan No.: 11R7330 Part No.(s): 5 & 6
Municipal Address: 437 Edith Cavell Blvd W, Port Stanley ON
6. Municipality of Central Elgin Official Plan:
Designation of the subject lands: Residential, Shoreline Flood Hazard Limit (Climate Change)
7. Current applicable Zoning By-law: VILLAGE OF PORT STANLEY BY-LAW #1507
Current applicable zone: Open Space 3 (OS3) Zone – Village of Port Stanley

8. What is the present use(s) of the subject lands? Seasonal residential
- How long has this use(s) continued on the subject lands? approx 90-100yrs
9. What is the proposed use of the subject lands? Seasonal residential
10. Nature and extent of relief from the zoning by-law: to permit the reconstruction of the existing legal non-complying cottage, as shown on the plans accompanying the application
- Reason(s) why the proposed use cannot comply with the provisions of the zoning by-law: The existing lot and cottage are legal con-complying.
11. Dimensions of the subject lands:
Frontage (m): 7m on Edith Cavell Blvd W Street/Road/Highway
Depth (m): 28.5m
Area (m²): 199.8 sq. m.
12. Access to the subject lands is provided by:
☐ A Provincial highway or municipal road that is maintained year-round or other public road;
☒ A right of way; or
☐ By water (Please provide a description of the parking/docking facilities to be used and the approximate distance of these facilities from the subject lands and the nearest public road):
13. Particulars of all existing and proposed structures on the subject lands (as applicable - add additional pages if necessary):
- | <u>EXISTING</u> | <u>BUILDING 1</u> | <u>BUILDING 2</u> | <u>BUILDING 3</u> |
|--------------------------------------|---------------------------|-------------------|-------------------|
| Building type: | <u>See attached plans</u> | | |
| Length (m): | | | |
| Width (m): | | | |
| Height (m): | | | |
| No. of storeys: | | | |
| Ground floor area (m ²): | | | |
| Gross floor area (m ²): | | | |
| Parking area (m ²): | | | |
| Setback, front lot line (m): | | | |
| Setback, rear lot line (m): | | | |
| Setback, side lot line (m): | | | |
| Setback, side lot line (m): | | | |
| Date constructed: | <u>1930-1935 approx.</u> | | |

PROPOSEDBUILDING 1BUILDING 2BUILDING 3

Building type: See attached plans
Length (m): _____
Width (m): _____
Height (m): _____
No. of storeys: _____
Ground floor area (m²): _____
Gross floor area (m²): _____
Parking area (m²): _____
Setback, front lot line (m): _____
Setback, rear lot line (m): _____
Setback, side lot line (m): _____
Setback, side lot line (m): _____

14. Potable water will be supplied to the subject lands through:

☒ Publicly owned and operated piped water system.
☐ Privately owned and operated individual or communal well.
☐ Lake or other water body.
☐ Other means. Explain: _____

15. Sewage disposal will be supplied to the subject lands through:

☒ Publicly owned and operated sanitary sewage system.
☐ Privately owned and operated individual or communal septic system.
☐ A privy.
☐ Other means. Explain: _____

16. Storm drainage will be supplied to the subject lands through:

☐ Publicly owned and operated storm sewer system.
☐ Privately owned and operated storm sewer system.
☒ Ditches and swales.
☐ Other means. Explain: _____

17. Has the subject lands ever been the subject of any of the following matters under the Planning Act:

(a) For approval of a plan of subdivision under Section 51. ☐ Yes ☒ No
File No.: _____ Status: _____
(b) For approval of a consent under Section 53. ☒ Yes ☐ No
File No.: E41/24 Status: Approved Lot addition
(c) For approval of minor variance/permission under Section 45. ☐ Yes ☒ No
File No.: _____ Status: _____

18. This application must be accompanied by a digital sketch, in metric, showing as applicable:

- ✓ The boundaries and dimensions of the subject lands;
- ✓ The location, size and type of all existing and proposed buildings and structures on the subject land, indicating their distance from the front lot line, rear lot line and side lot lines;
- ✓ The approximate location of all natural and artificial features (i.e. buildings, railways, roads, watercourses, drainage ditches, rivers or streams, wetlands, wooded areas, wells and septic tanks) that,
 - (i) are located on the subject land and on land that is adjacent to it; and
 - (ii) in the applicant's opinion, may affect the application.
- ✓ The current uses of land that is adjacent to the subject land; (continued on next page)

- ✓ The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right of way;
- ✓ If access to the subject lands will be by water only, the location of the parking and docking facilities to be used; and
- ✓ The location and nature of any easement affecting the subject land.

19. This application must be filed with the **Central Elgin Planning Office, 9 Mondamin Street, St. Thomas, Ontario, N5P 2T9** or with the **Municipality of Central Elgin, 450 Sunset Drive, St. Thomas, Ontario, N5R 5V1**, and must be accompanied by the application fee of **\$534.50**.

PLEASE MAKE CHEQUES PAYABLE TO "THE MUNICIPALITY OF CENTRAL ELGIN"

DECLARATION:

I, Nicole McDowell of Iona Station
do solemnly declare that all above statements contained in all of the exhibits transmitted herewith are true, and I make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

Declared before me at the Municipality of Central Elgin

In the County of Elgin

this 14th

day of March A.D. 2025

N. McDowell
Signature of Owner or Authorized Agent

[Signature]
A Commissioner, etc.

**DELANY LYNN LEITCH, Deputy Clerk
for The Corporation of the Municipality
of Central Elgin. A Commissioner for
taking Affidavits in the County of Elgin
in the Province of Ontario.**

OWNER'S AUTHORIZATION:

THIS MUST BE COMPLETED BY THE OWNER IF THE OWNER IS NOT FILING THE APPLICATION

Note: If there are multiple Owners, an authorization letter from each Owner (with dated, original signature) is required OR each Owner must sign the following authorization.

I, (we) Kara Deshaw & Chuck Wickens, being the Applicant(s) and/or registered Owner(s) of the subject lands, hereby authorize Nicole McDowell to prepare and submit an Application for a Minor Variance.

Signature

05/03/2025

Day

Month

Year

Municipal Freedom of Information Declaration:

In accordance with the provisions of the Planning Act, it is the policy of the Municipality of Central Elgin to provide public access to all development applications and supporting documentation.

In submitting this development application and supporting documentation, I Nicole McDowell (please print name) the ☐ Owner ☒ Applicant ☒ Authorized Agent, hereby acknowledge the above-noted policy and provide my consent, in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act, that the information on this application and any supporting documentation provided by myself, my agents, consultants and solicitors, will be part of the public record and will also be available to the general public.

I hereby authorize the Municipality of Central Elgin to post a "Possible Land Use Change" sign and allow municipal staff to access to the subject lands for purposes of evaluation of the subject application.

N. McDowell
Signature

14
Day

Mar
Month

2025
Year



1. DO NOT SCALE DRAWINGS.

2. ALL REPAIRS AND MAINTENANCE SHALL BE ACCORDING WITH THE LATEST EDITION OF THE STANDARD BUILDING CODE.
3. ALL DRAIN STOPS ARE TO BE INSTALLED FROM BELOW THE FINISHED FLOOR SURFACE TO ALLOW EASY ACCESS TO THE DRAINAGE SYSTEM.
4. ALL MATERIALS AND FINISHES TO BE UTILIZED BY THE OWNER SHALL BE TO THE SUFFICIENCY OF THE CONTRACTOR.
5. ALL DRAWINGS ARE PROPERTY OF DUE TO THE DESIGNING ARCHITECT, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.

**NOT FOR
PERMIT**

PERSONNEL			
NAME	DATE OF BIRTH	POSITION	DATE OF HIRE
John Doe	12/15/1980	Software Engineer	01/15/2018
Jane Smith	03/22/1975	Marketing Specialist	06/01/2019
Michael Johnson	08/10/1990	Product Manager	09/10/2017
Sarah Williams	11/05/1985	UX Designer	03/01/2020
David Brown	05/18/1978	Systems Administrator	07/15/2016
Emily Davis	09/30/1992	Business Development	10/01/2018
James Wilson	02/14/1988	Quality Assurance	04/01/2019
Alice Taylor	07/01/1970	Project Manager	11/15/2015
Robert Lee	10/25/1982	Operations Manager	08/01/2017
Michelle Garcia	04/12/1995	Human Resources	05/01/2020
Christopher Martinez	06/08/1979	Finance Analyst	02/15/2018
Stephanie White	12/01/1987	Customer Support	09/01/2019
Daniel King	01/20/1983	IT Support	03/15/2017
Olivia Green	08/05/1991	Marketing Coordinator	07/01/2020
Matthew Black	11/18/1976	Software Developer	05/15/2016
Natalie Adams	03/01/1989	Product Designer	10/01/2018
Kevin Hall	09/15/1984	Systems Engineer	06/15/2017
Victoria Scott	02/28/1993	Business Analyst	04/01/2020
Andrew Young	07/10/1977	Operations Specialist	08/15/2016
Isabella Lopez	10/05/1986	Customer Success	11/01/2019
Benjamin Clark	05/25/1981	IT Manager	03/01/2017
Grace Hall	12/10/1994	Marketing Assistant	09/01/2020
Samuel Allen	04/01/1980	Product Engineer	07/15/2018
Chloe King	08/15/1990	UX Researcher	10/01/2019
Jonathan Wright	01/05/1975	Systems Administrator	06/01/2016
Madison Baker	06/20/1988	Business Development	08/15/2020
Christopher Evans	11/01/1983	Software Engineer	04/01/2017
Abigail Green	03/15/1992	Marketing Specialist	09/01/2019
Matthew Adams	07/25/1979	Product Manager	11/15/2016
Olivia Baker	10/10/1987	UX Designer	05/01/2020
Benjamin Clark	02/01/1985	Systems Administrator	07/15/2017
Grace Hall	09/20/1993	Business Development	10/01/2018
Samuel Allen	04/10/1980	Operations Manager	06/15/2016
Chloe King	08/05/1990	Customer Support	11/01/2019
Jonathan Wright	01/25/1975	IT Support	03/15/2017
Madison Baker	06/10/1988	Marketing Coordinator	07/01/2020
Christopher Evans	11/25/1983	Software Developer	04/01/2017
Abigail Green	03/20/1992	Product Designer	09/01/2019
Matthew Adams	07/30/1979	Systems Engineer	11/15/2016
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Madison Baker	06/25/1988	Marketing Assistant	08/15/2020
Christopher Evans	11/05/1983	Product Engineer	04/01/2017
Abigail Green	03/25/1992	UX Researcher	09/01/2019
Matthew Adams	07/15/1979	Systems Administrator	11/15/2016
Olivia Baker	10/20/1987	Business Development	05/01/2020
Benjamin Clark	02/15/1985	Operations Manager	07/15/2017
Grace Hall	09/15/1993	Customer Support	10/01/2018
Samuel Allen	04/05/1980	IT Support	06/15/2016
Chloe King	08/10/1990	Marketing Coordinator	11/01/2019
Jonathan Wright	01/20/1975	Software Developer	03/01/2017
Madison Baker	06/15/1988	Product Designer	08/15/2020
Christopher Evans	11/20/1983	Systems Engineer	04/01/2017
Abigail Green	03/10/1992	Business Analyst	09/01/2019
Matthew Adams	07/25/1979	Operations Specialist	11/15/2016
Olivia Baker	10/30/1987	Customer Success	05/01/2020
Benjamin Clark	02/20/1985	IT Manager	07/15/2017
Grace Hall	09/10/1993	Marketing Assistant	10/01/2018
Samuel Allen	04/01/1980	Product Engineer	06/15/2016
Chloe King	08/15/1990	UX Researcher</	

DESHAW-
WICKENS
COTTAGE

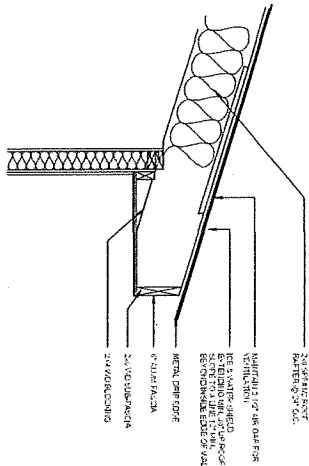
FLOOR PLANS

437 EDITH CAVELL BLVD W
PORT STANLEY, ONTARIO

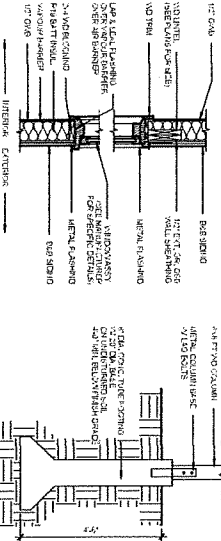
City of

A1

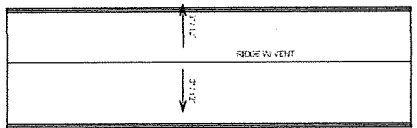
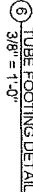
Scale	As Indicated	Rate
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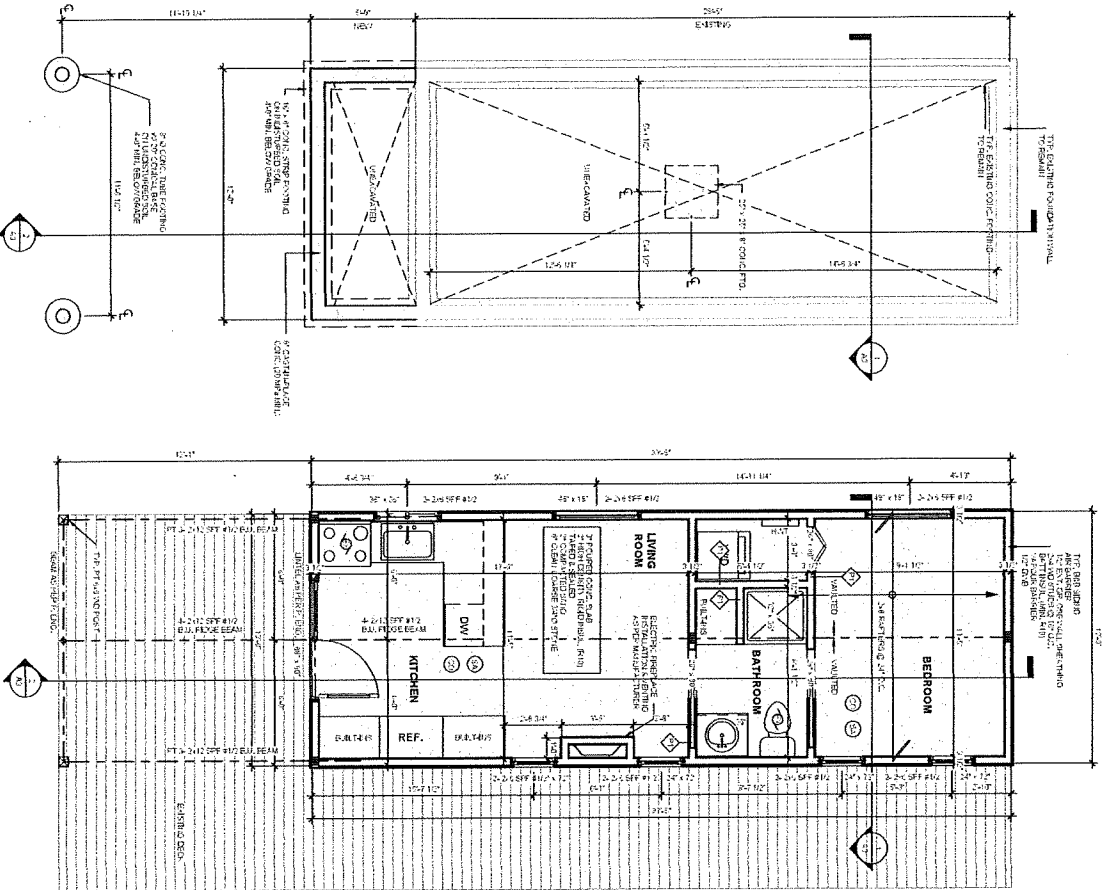
⑤ EAVE DETAIL - RAFTER
3/4" = 1'-0"



④ WINDOW SECTION
1 1/2" = 1'-0"

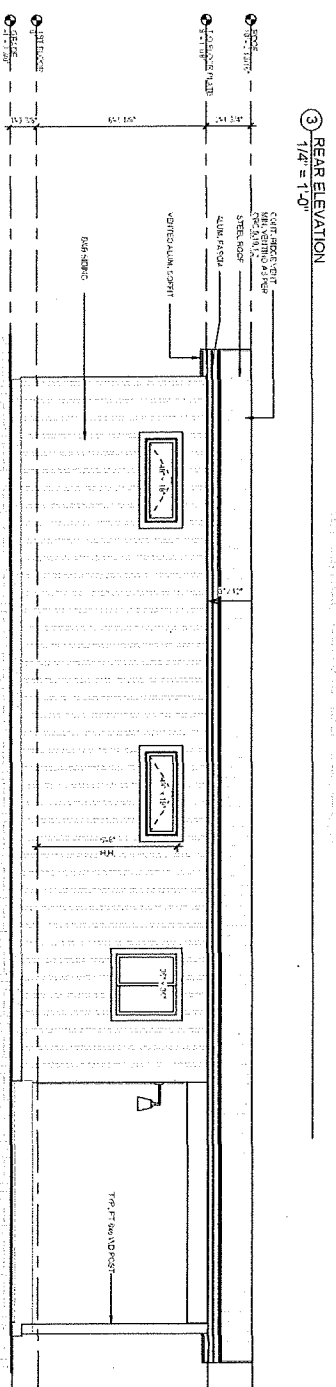
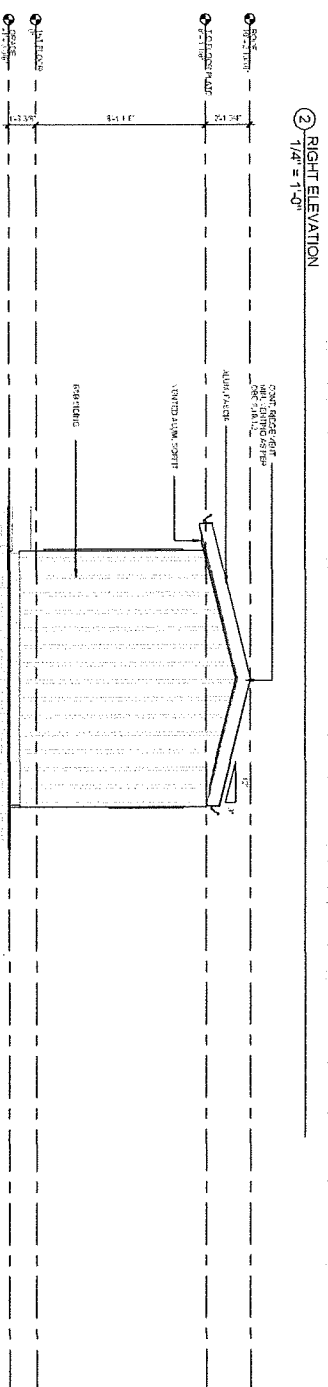
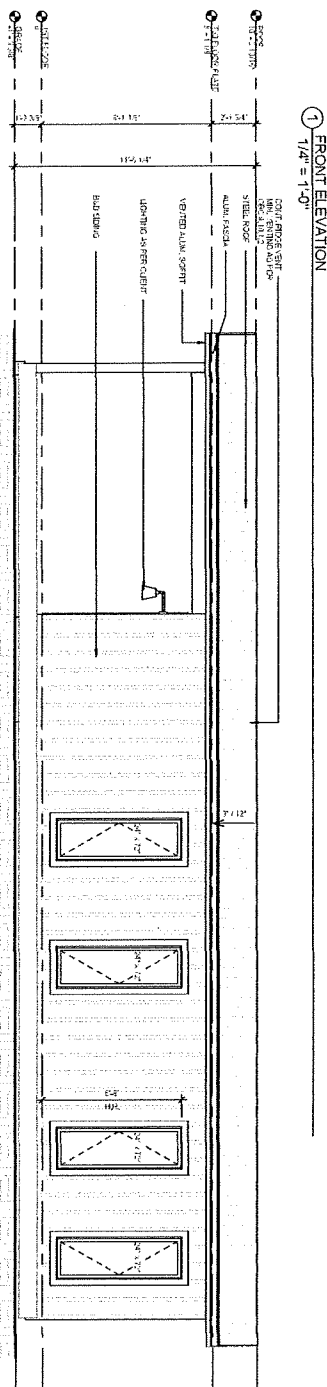
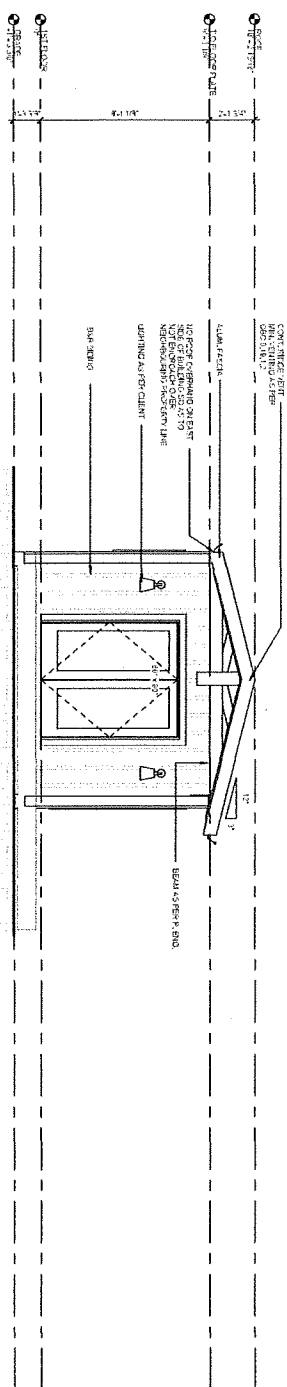


③ ROOF
1" = 10'-0"



① T.O. FOUNDATION
1/4" = 1'-0"

② 1ST FLOOR
1/4" = 1'-0"



DUE NORTH
DESIGN & DRAFTING INC.

NOTES:

CALL BATES AND YOUR SHIP SHAPE
IN ACCORDANCE WITH THE LATEST
REVISION OF THE CHINA BUILDING CODE
ALL DIMENSIONS ARE IN METERS
ALL DIMENSIONS ARE IN METERS
PAGE COLUMBIAN PAGE COLUMBIAN
CENTRE

**PRELIMINARY
ONLY
NOT FOR
PERMIT**

[illegible]

DESHAW-
WICKENS
COTTAGE
ELEVATIONS

Address	437 EDITH CAVELL BLVD W PORT STANLEY, ONTARIO
Event Number	25-
Date	MAR 11, 2001
Drawn by	h

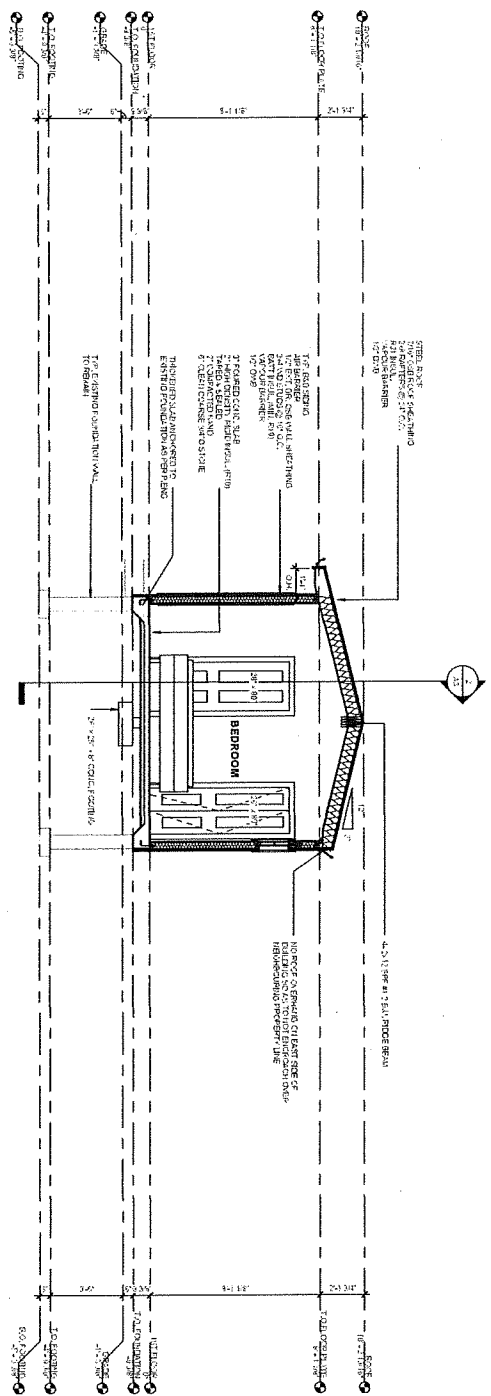
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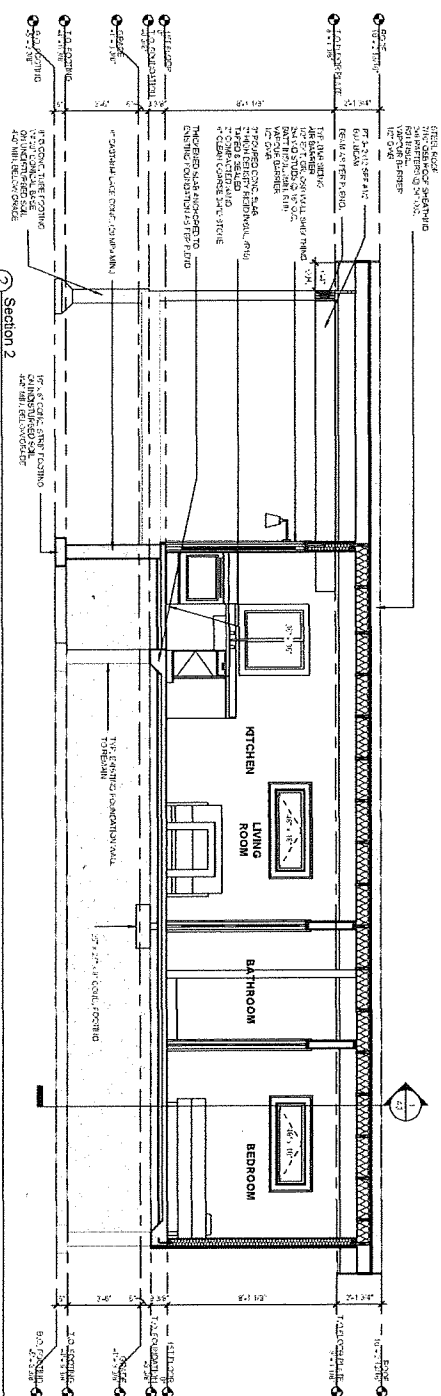
an architectural firm
10000 Highway 101
Suite 100
Dallas, Texas 75243
Tel: 972.381.1100

NOTES:

1. DO NOT SCALE DRAWING.
2. ALL MATERIAL AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CODES AND STANDARDS.
3. ALL CHANGES ARE TO BE MADE BY A WRITTEN CHANGE ORDER AND SHALL BE SIGNED BY THE ARCHITECT.
4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.



1 Section 1
1/4" = 1'-0"



2 Section 2
1/4" = 1'-0"

PRELIMINARY
ONLY
NOT FOR
PERMIT

REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	ISSUED FOR PERMIT
3	ISSUED FOR PERMIT
4	ISSUED FOR PERMIT
5	ISSUED FOR PERMIT
6	ISSUED FOR PERMIT
7	ISSUED FOR PERMIT
8	ISSUED FOR PERMIT
9	ISSUED FOR PERMIT
10	ISSUED FOR PERMIT

DESIGN
WICKENS
COTTAGE

CROSS SECTIONS

401 EAST CAVEL BLVD
FORTH WORTH, TEXAS 76104
Phone: 817.335.1100
Fax: 817.335.1101
Date: MAR 11, 2005
Drawn by: KB

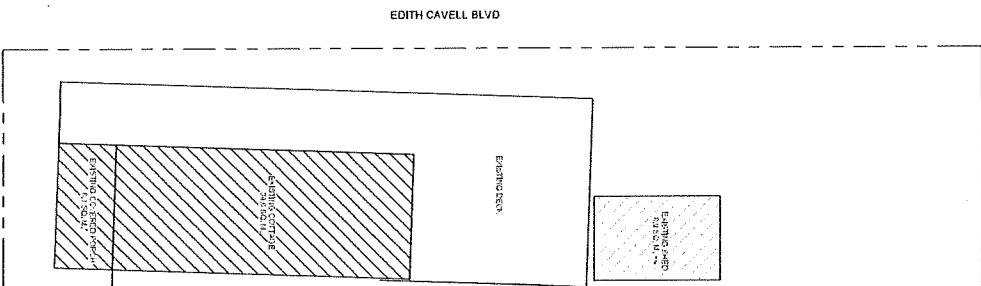
A3

Scale: 1/4" = 1'-0" Sheet: 2

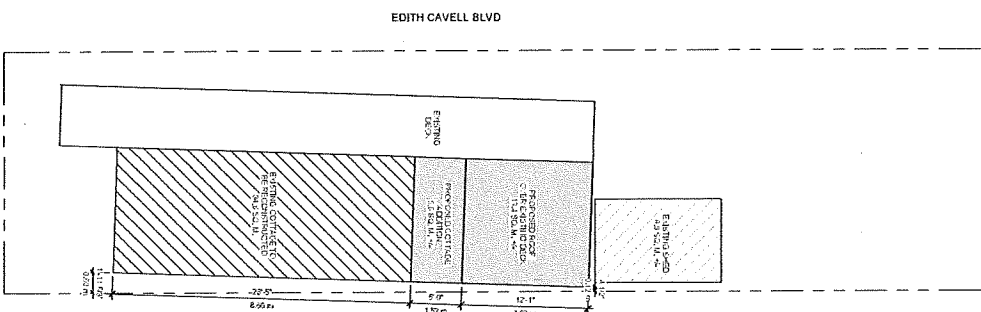
COUNTY OF ELGIN

MUNICIPALITY OF CENTRAL ELGIN

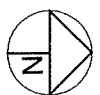
NOTE:
DRAWINGS FOR REFERENCE ONLY. THE MEASUREMENTS PROVIDED ARE BASED ON THE INFORMATION PROVIDED BY ORIGINAL BUILDING DOCUMENTS. LOCATIONS OF BUILDING AND PLUMBING MAY HAVE BEEN MODIFIED TO ILLUSTRATE PROPOSED EQUIPMENT. THIS DOCUMENT HAS NOT BEEN PREPARED BY/REGISTERED WITH A LAMP SURVEILLANCE.



① SITE PLAN EXISTING CONDITION
1/8" = 1'-0"



② SITE PLAN PROPOSED CONDITION
1/8" = 1'-0"



1. DO NOT SCALE DRAWING

1. ALL MATERIAL AND WORKMANSHIP SHALL BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO THE START OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT ENGINEER.
3. ALL DRAWINGS ARE THE PROPERTY OF THE DISTRICT ENGINEER. NO PARTS OF THE DRAWINGS ARE TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.
4. ALL MATERIALS AND FINISHES TO BE USED SHALL BE APPROVED BY THE DISTRICT ENGINEER PRIOR TO THE START OF THE PROJECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE DISTRICT ENGINEER.
6. ALL DRAWINGS ARE THE PROPERTY OF THE DISTRICT ENGINEER. NO PARTS OF THE DRAWINGS ARE TO BE REPRODUCED WITHOUT WRITTEN PERMISSION.

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WICKENS
COTTAGE

SITE PLAN

437 EDITH CAVELL BLVD W
PORT STANLEY, ONTARIO

MAR 11, 2025

Created by	KB
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Depth	1/8" ± 1.00"	R&R, 2
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